

**Addendum No. 1**

August 1, 2011

DMHA  
400 Wayne Ave.  
Dayton, OH 45410

Re: 1432-1438 Rosemont oh5-12b  
261 Hoch Street oh5-18d

Prepared by:  
The Oregon Group Architects

This Addendum modifies and shall become a part of the original Contract Specification and is hereby made part of the Bidding Documents for the referenced project.

All bidders shall indicate in their bid/proposal that this Addendum has been received and considered in their bid proposal.

The Addendum items are intended to supplement, clarify or correct parts of the bid proposal package. Items in the addendum shall take precedence over items corrected and shall be of equal value with items supplemented or clarified. Any questions in reference to this addendum must be directed, in writing, to:

Oregon Group Architects  
C/o Kyle Zepernick  
300 S. Patterson Blvd.  
Dayton, OH 45402  
937-228-1511  
937-228-9669 Fax

**DRAWINGS:**

- Item No. 1: Delete Drawing Sheets E1, E3, E4 in their entirety.
- Substitute: Attached revised Drawing Sheets E1, E2, E4 in their entirety. Aerial service conductors to 1432 and 1438 Rosemont shall each extend to one location on buildings. Two meter centers for each Rosemont building are to be located adjacent to each other as shown on plans. Refer to clouded changes on revised sheets. Contractor shall coordinate with DP&L prior to any rough-in, for service drop location and shall provide necessary support structure or weatherhead(s) as required. Existing service conductor wall support brackets shall be removed, and brick surface repaired.
- Item No. 2: Add attached Pre-Bid Attendance Sheet and Meeting Minutes.

END OF ADDENDUM NO. 1



## OREGON GROUP ARCHITECTS

The Parsonage House | 300 S. Patterson Blvd. Dayton, OH 45402-2845 | Phone: 937.228.1511 Fax: 937.228.9669 | [www.oregongroup.com](http://www.oregongroup.com)

### PRE BID CONFERENCE MEETING MINUTES

Project Name: DMHA Rosemont Hoch Electrical Upgrades and A/C Replacement

Address: 261 Hoch Ave, 1432-1438 Rosemont Blvd.

IFB #11-12

Project Number: 111071

Date: 7-22-11 Time: 9:00 am

Attendee	Company	Phone	Fax	e-mail
Kyle Zepernick	Oregon Group Architects	937-228-1511	228-9669	<a href="mailto:kzepernick@oregongroup.com">kzepernick@oregongroup.com</a>
Rod Long	DMHA	910-7613	910-7628	<a href="mailto:rlong@dmha.org">rlong@dmha.org</a>
Kevin Arnold	DMHA	910-7637	910-7627	<a href="mailto:karnold@dmha.org">karnold@dmha.org</a>
Todd Daniel	DMHA	910-7657		<a href="mailto:tdaniel@dmha.org">tdaniel@dmha.org</a>
David Hanshaw	Hanshaw Electric			<a href="mailto:hanshawelectric@yahoo.com">hanshawelectric@yahoo.com</a>
Charlie Moore	Spectrum Electric			<a href="mailto:specmoore@sbcglobal.net">specmoore@sbcglobal.net</a>
Taher Mahmouda	Ideal Electric Services			<a href="mailto:idealelecserv@aol.com">idealelecserv@aol.com</a>
Jacob Blommel	A-Abel Electric			<a href="mailto:jblommel@a-abel.com">jblommel@a-abel.com</a>
Matt Yanney	BSE Engineering			<a href="mailto:mbyanney@bseltd.biz">mbyanney@bseltd.biz</a>

1. Bid Opening: August 8, 2011 3:00 pm at DMHA offices.
2. Contract Details –
  - a. Bidder Requirements - DMHA
  - b. Buy American requirements – Spec Section 01 00 00 General Requirements. Products manufactured or primarily assembled in the USA.
3. Project Overview – Oregon Group Architects
  - a. All questions related to the drawings shall be forwarded IN WRITING to the Architect, Oregon Group Architects, Inc. c/o Kyle Zepernick. Questions must be submitted by July 26<sup>th</sup>.
  - b. High level of quality expected by DMHA.
  - c. A brief description of the project was given: Electric service, receptacles, switch replacement & A/C at Hoch - BSE
  - d. Construction Time of 120 Calendar Days – 100 Construction & 20 Days closeout.
  - e. All contractors are cautioned to carefully review the complete set of documents. Contractors are to bid entire set of documents, do not disassemble for subs.
  - f. Weekly progress meetings scheduled, all contractors working are expected to attend meetings.
  - g. Shop drawings and submittals shall be in electronic format and emailed for review.
  - h. Substitutions 10 days prior to bid.
  - i. Addendum to be issued minimum 7 days prior to bid date.

Addenda: None to date.

Bid Form –

Allowances: \$8,000.00 Equipment Repair allowance  
\$5,000.00 Circuit Repair allowance.  
\$2,000.00 Permit Application Fees.

Alternates: #1 – Deleting additional electrical receptacles to meet six foot o.c. spacing. All buildings.

Alternate #2 – Delete new four wire circuit for range and clothes dryer.

Alternate #3 – Delete all new exterior electrical receptacles, all buildings.

Alternate #4 – Delete all work associated with 1432 Rosemont Blvd. building.

Alternate #5 – Delete all work associated with 261 Hoch Street building.

Unit Costs: Extensive Unit Cost list to be completed by contractors.

4. Owner Comments
  - a. Units will be occupied and tenants have right to remain in units while work is going on. Units cannot go without power over night.
5. Bid Document Overview
  - a. Contractors may use apartment electricity, water and HVAC.
  - b. Addenda must be released prior to 7 days before bid opening.
  - c. Contractor to apply and pay for trade permits. General building permit is not necessary.
6. Questions/Clarifications
  - a. Will DP&L allow two service drops per building? – Matt will verify.
  - b. Wire mold is to be used to cover the vertical feeder lines.
  - c. Drawing plans indicate typical layout of receptacles, switches, etc. If different layout found in field it will be addressed at that time. Location of receptacles, switches, etc. may vary a few inches from unit to unit.
  - d. Contractors are responsible for moving resident's belongings to access receptacles, switches, etc. Contractors are responsible for any damage to resident's belongings. Contractors are encouraged to take precautions as necessary to document condition of belongings prior to starting work in units.
  - e. Hoch vertical feeder line is indicated to be exposed in the drawings.
  - f. BSE will consider allowing PVC to cover vertical feeder lines. Any changes will be issued in an Addendum.
  - g. Contractors will be allowed to install new load center in same location as existing if they can ensure residents will not be left without power at the end of the day.
7. Site Inspection
  - a. No comments.

Todd Daniel will be on vacation late next week and early the following week. Emails should be redirected to Rod Long.

Kyle Zepernick will be on vacation next week. Ryan Traxler at OGA can be contacted with questions.

The meeting was adjourned at 10 am. No persons requested to tour the exterior of the facilities today. If contractors wish to tour the interior units they should contact Kevin Arnold.

The above information constitutes our understanding of the activities and events of this meeting. If in your opinion, additions or modifications are required please advise the author in writing immediately.

Kyle Zepernick  
OREGON GROUP ARCHITECTS, INC.

**DAYTON METROPOLITAN HOUSING AUTHORITY**

**PRE-BID AGENDA**

**IFB #11-12**

**Electrical Service Upgrades & Thru-Wall A/C replacement  
At 261 Hoch St and 1432-1438 Rosemont Blvd, Dayton Ohio  
45410**

**PRE-BID DATE / TIME:**

Friday 7/22/11 9:00 AM

- A. Sign-In
- B. Introductions
- C. Purpose of Pre-Bid Conference
- D. Discussion of Bidding Process
- E. Discussion of Drawings and Specifications:

Kyle D Zepernick RA, LEED AP BD+C  
Phone 937-228-1511  
Email: [kzepernick@oregongroup.com](mailto:kzepernick@oregongroup.com)

- F. Question Period
- G. Closing

**DMHA Contacts:**

Kevin Arnold, Construction Administrator, Real Estate Investment and Development  
[karnold@dmha.org](mailto:karnold@dmha.org) (937) 910-7637 Fax: (937) 910-7627

Todd J Daniel, Buyer, Compliance Department  
[tdaniel@dmha.org](mailto:tdaniel@dmha.org) (937) 910-7657 Fax: (937) 910-7628

## **Reminders:**

- Check the website for Addendum, Clarifications, etc. before submitting bid
- **If mailing Bid, the physical address is: (For FedEx, DHL, UPS, couriers, etc)**
  - o **400 Wayne Ave., Dayton, OH 45410**
  - o If you use the PO Box Address, it is:
    - 400 Wayne Ave., PO Box 8750, Dayton OH 45401
- Follow the format requested in the **Bidder Packet Instructions** when submitting the bid, in the order requested (it speeds up the bid opening process)
- Fill out the required **Bidder Packet Exhibits** in their entirety, not having an exhibit, or not having it notarized, may be grounds for rejecting a bid; do not forge a notary signature, that is grounds for bid rejection

## **Time Table:**

Friday, July 8th, 2011	Date IFB was issued
Friday July 22 <sup>nd</sup> , 2011 @ 9:00am	Pre-Bid Conference @ 400 Wayne Ave
Tuesday July 26 <sup>th</sup> , 2011	Deadline for written questions from vendors
Monday August 1st, 2011	Deadline for written responses to vendors
Monday, August 8 <sup>th</sup> 2011 @ 3:00pm	Public Bid Opening @ 400 Wayne Ave
Wednesday, August 17 <sup>th</sup> , 2011	Board Meeting – Approval to award contract(s)
September 2011	Notice to Proceed to be Issued

**Please be sure to print clearly on sign-in sheet**

**EXHIBITS**

**These are the Exhibits that must be included when you are submitting a Sealed Bid for an IFB.**

*When submitting a bid, an organization should provide the exhibits in the order reflected below and label each exhibit according to its number.*

- Exhibit 1 ..... Solicitation/Offer/Award Form (*Complete Offer section*)
- Exhibit 2 ..... Bid Bond Form (*5% of total Bid Amount is required*)
- Exhibit 3..... Bid Form (*Be sure to fill in completely.*)
- Exhibit 4..... Minority Business Enterprise Utilization (MBE/WBE/DBE/SBE/VBE/Edge Cert.) (*Be sure to fill in completely*) (*DMHA suggest 25% of Bid Amount*)
- Exhibit 5..... Equal Employment Opportunity Affirmative Action Statement
- Exhibit 6..... Contractor's Certificate Concerning Equal Employment Opportunities (*Be sure to fill in completely.*)
- Exhibit 7..... Section 3 Goals & Compliance, Self Certification, Sample Plan and Forms (*Exhibit must be fully completed.*)
- Exhibit 8..... Certification for a Drug-Free Workplace (HUD Form 50070)
- Exhibit 9..... Non-Collusive Affidavit and Full Disclosure Statement
- Exhibit 10..... Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion
- Exhibit 11 ..... Statement of Bidder's Qualifications
- Exhibit 12..... Reference Release Forms (5) (*Do not list any DMHA employee as a reference.*)
- Exhibit 13..... HUD Form 5369-A: Representations, Certifications, and Other Statements of Bidders (Public and Indian Housing Programs)
- Exhibit 14..... Certification of Acceptance of the HUD Form 5370 General Conditions for Construction Contracts (*Exhibit must be signed acknowledging that it has been read*)
- Exhibit 15..... Affidavit of Stored Material(s) (*Exhibit must be fully completed if contractor plans to make draws on stored material or not*)
- Exhibit 16..... Certification as to Corporate Principal
- Attached ..... Decline to Bid Form*
- Reference ..... Understanding HUD Construction Forms*

PRE-BID SIGN-IN

PROJECT: IFB #11-12- Electrical Service Upgrades and Thru-Wall A/C Replacement

DATE: 7/22/2011

TIME: 9:00am

NAME	COMPANY	E-MAIL
1. David Hanshaw	Hanshaw Electric	hanshawelectric@yahoo.com
2. CHARLIE MOORE	SPECTRUM ELECTRIC	SPECMOORE@SBCGLOBAL.NET
3. Taher m Ahmouda	Ideal Electrical Services	Idealelectsew@aol.com
4. <del>Paul Blom</del> Jacob Blom	A-Abel Electric	jblommel@a-abel.com
5. Dixie Rife	RIFE Electric Co.	dixiericeelectric@yahoo.com
6. Kevin Arnold	DMHA	karnold@dmha.org
7. Matt YANNEY	BSE (t)	mbyanne@bse(t).biz
8. Kyle Zepernick	OREGON GROUP ARCH	kzepernick@oregongroup.com
9. Roderick Long	DMHA	rlong@dmha.org
11. Todd Daniel	DMHA	Tdaniel@dmha.org
12.		
13.		
14.		
15.		
16.		
17.		
18.		

## LIGHTING FIXTURE SCHEDULE

FIXTURE DESCRIPTION	QUANTITY	LAMPS		FIXTURE VOLTAGE	MANUFACTURER & CATALOG NO.	ADDITIONAL ACCEPTABLE MANUFACTURERS PROVIDED EQUAL FIXTURE IS SUBMITTED	DESCRIPTION	TRIM COLOR			MOUNTING			SIZE (IN.)			WET LOCATION		
		FLUORESCENT	INCANDESCENT					WATTS / LAMP	LAMP CATALOGUE NO. BY G.E. OR EQUAL	WHITE	BLACK	OTHER	RECESSED SURFACE	MOUNTING HEIGHT	OTHER	DIAMETER OR WIDTH		LENGTH	DEPTH
A1	1			26	LAMP INCLUDED WITH FIXTURE	120	LITHONIA - LIGHT CONCEPTS #11734-BN-(FLUSH) (4)	SEA GULL LIGHTING, AMERICAN FLUORESCENT, BROWNLEE	ROUND SURFACE MOUNTED LIGHT	W		BRUSHED NICKEL	S			14 DIA.	4.5		
A2	2			32	F32T8/SP35/ECO	120	LITHONIA - LIGHT CONCEPTS #10640-RE (3)(4)	SEA GULL LIGHTING, AMERICAN FLUORESCENT, BROWNLEE	KITCHEN CEILING LIGHT	W			S			11	51.5	5.5	
A3	1			26	F26DBX/B35/ECO	120	KENALL #MR13FLS-PIA-XX-26Q-1-120 (4)	(5)	EXTERIOR SURFACE MOUNTED LIGHT			FINISH COLOR AS SELECTED BY ARCHITECT	S			13 DIA.	4	●	
A4	2			17	F17T8/SP35/ECO	120	LITHONIA #11890-RE (3)(4)	SEA GULL LIGHTING, AMERICAN FLUORESCENT, BROWNLEE	STAIR LIGHT - LINEAR	W			S			5	27	4	
A5	2			22/32	LAMPS INCLUDED WITH FIXTURE	120	LITHONIA #FM54 ACLR LP (4)	SEA GULL LIGHTING, AMERICAN FLUORESCENT, BROWNLEE	STAIR LIGHT - ROUND	W			S			14 DIA.	3.5		
D1	4			60	60A	120	BROAN #124LP (6)	NUTONE, BOBRICK	MEDICINE CABINET VANITY LIGHT				S						
EM1	1			8	HALOGEN LAMP WITH UNIT	6	SURE-LITES #6TBWX	MCPHILBEN, BEGHELLI, LITHONIA	EXTERIOR REMOTE EMERGENCY HEAD			FINISH COLOR AS SELECTED BY ARCHITECT		7'-6"	(8) WALL MTD.	-	-	-	●
X1	2			5	MR16 LAMPS & LEDS W/UNIT	120	SURE-LITES #LPXH-7-0-R-WH-DH2139-SD (SELF-DIAGNOSTICS)	MCPHILBEN, BEGHELLI, LITHONIA	COMBINATION EXIT SIGN/EMERG. LIGHT	W				(7)	WALL MTD.	10	23	3	

## construction notes

- REMOVE EXISTING LOAD CENTER AND FEEDER AND REPLACE WITH NEW.
- REMOVE EXISTING FEEDER TO LOAD CENTER AND PROVIDE NEW 100A FEEDER 3-#2, 1-#8 GRD CU SER CABLE.
- DEMAND LOAD CALCULATION IS BASED ON NEC 220.82.
- FUSE AT 300A LPN-RK.
- 100A METER SOCKET. COORDINATE WITH POWER COMPANY FOR INSTALLATION OF METER.
- DEMAND LOAD ON METER CENTER IS 37.7 KVA, 157 A PER NEC TABLE 220.84, 44% DEMAND FACTOR FOR MULTI-FAMILY DWELLING UNITS.
- SHORT CIRCUIT CALCULATIONS ARE BASED ON EXISTING 50 KVA POLE MOUNTED TRANSFORMER, 1.8% IMPEDANCE, INFINITE PRIMARY.
- PROVIDE GROUNDING AS SPECIFIED IN SPECIFICATION SECTION 260526. PROVIDE INTERSYSTEM BONDING TERMINATION PER NEC 250.94 AND PROVIDE BONDING OF TELEPHONE AND CABLE TV SERVICES.
- FUSE AT 400A LPN-RK.
- DEMAND LOAD ON METER CENTER IS 70 KVA, 291 A PER NEC TABLE 220.84, 44% DEMAND FACTOR FOR MULTI-FAMILY DWELLING UNITS.
- SHORT CIRCUIT CALCULATIONS ARE BASED ON 167 KVA POLE MOUNTED TRANSFORMER, 2.4% IMPEDANCE, INFINITE PRIMARY. 22K FEEDER BREAKERS ARE INDICATED IN METER CENTER.
- PROVIDE SERIES RATED METER CENTER SUCH THAT MAIN FUSES AND FEEDER BREAKERS ARE RATED TO PROTECT 10K BREAKERS IN LOADCENTERS AT AVAILABLE FAULT CURRENT VALUES INDICATED.
- MOUNTING HEIGHTS INDICATED ARE APPROXIMATE; MATCH EXISTING MOUNTING HEIGHTS.
- 3-#6, 1-#10 GRD SER CABLE.
- PANEL SHALL HAVE WEATHERPROOF NEMA 3R ENCLOSURE.
- PROVIDE WEATHERPROOF MAST, AND EXTEND 3-#350 KCMIL CU SER CABLE TO METER CENTER.
- PROVIDE WEATHERPROOF MAST, AND EXTEND 3-#500 KCMIL CU SER CABLE TO EACH METER CENTER MAIN DISCONNECT.
- UNDER BASE BID, REPLACE 3-WIRE DEVICES WITH 4-WIRE DEVICES. UNDER ALTERNATE NO. 2, REPLACE 3-WIRE DEVICES WITH 3-WIRE DEVICES, NEMA 10-30R DRYER RECEPTACLE, NEMA 10-50R RANGE RECEPTACLE.
- IF ALTERNATE NO. 2 IS ACCEPTED, PROVIDE 40A/2P BREAKER TO SERVE HOCH RANGE CIRCUITS. FIELD DETERMINE CONDUCTOR SIZE OF EXISTING RANGE CIRCUITS AT ROSEMONT, AND PROVIDE 40A/2P BREAKERS IF #8 CONDUCTORS, AND PROVIDE 50A/2P BREAKERS IF #6 CONDUCTORS EXIST.

## legend

- 15A, 240V RECEPTACLE, 18" MH.
- 20A, 240V RECEPTACLE, 18" MH.
- NEMA 14-30R, 30A-120/240V DRYER RECEPTACLE, 46" MH.
- NEMA 5-15R, 15A-120V, TAMPER RESISTANT DUPLEX RECEPT., 18" MH.
- NEMA 5-20R, 20A-120V, TAMPER RESISTANT DUPLEX RECEPT., 46" MH.
- NEMA 5-20R, 20A-120V, TAMPER RESISTANT DUPLEX GROUND FAULT RECEPTACLE, 46" MH.
- NEMA 5-15R, 15A-120V, TAMPER RESISTANT DUPLEX WEATHER RESISTANT GROUND FAULT RECEPT. WITH IN-USE WEATHERPROOF COVER, 18" MH.
- NEMA 5-15R, 15A-120V, TAMPER RESISTANT DUPLEX RECEPTACLE, 18" MH, SPLIT RECEPTACLE WITH ONE OUTLET CONTROLLED FROM WALL SWITCH.
- NEMA 14-50R, 50A-120/250V RANGE RECEPTACLE, 18" MH.
- DISCONNECT SWITCH.
- MOTOR.
- FLUSH MOUNTED PANELBOARD.
- SURFACE MOUNTED PANELBOARD.
- EXIT LIGHTING FIXTURE, ARROWS AS SHOWN ON PLAN.
- BATTERY POWERED EXIT SIGN WITH EMERGENCY LAMP HEADS.
- BATTERY POWERED EMERGENCY LIGHTING FIXTURE.
- REMOTE BATTERY POWERED EMERGENCY LIGHT.
- LIGHTING FIXTURE, FIXTURE TYPE PER SCHEDULE, LOWER CASE IF INDICATED DESIGNATES SWITCHING CONFIGURATION.
- SINGLE POLE TOGGLE SWITCH, 46" MH.
- SINGLE POLE, 30A-120V, TOGGLE SWITCH, HORSE POWER RATED, 46" MH.
- THREE-WAY TOGGLE SWITCH, 46" MH.
- EXISTING TELEPHONE OUTLET, 46" MH. NO WORK REQUIRED.
- EXISTING TELEPHONE OUTLET, 18" MH. NO WORK REQUIRED.
- CONDUIT.
- (TWO) PHASE CONDUCTORS, TWO NEUTRALS (DEDICATED NEUTRAL FOR EACH CIRCUIT) + GROUND IN CONDUIT, SERVED FROM PANEL (PPA), CIRCUITS (1&3).
- DASHED SYMBOL - DEVICE / FIXTURE TO BE REMOVED.
- EXISTING DEVICE / FIXTURE TO REMAIN.
- ABOVE FINISHED FLOOR MOUNTING HEIGHT MEASURED TO BOTTOM EDGE OF DEVICE/FIXTURE.
- EXISTING.
- ELECTRICAL CONTRACTOR.
- GENERAL CONTRACTOR.
- MECHANICAL CONTRACTOR.
- MOUNTING HEIGHT MEASURED TO CENTERLINE OF DEVICE / FIXTURE.
- WEATHERPROOF.
- EXISTING CABLE TV OUTLET, 18" MH. NO WORK REQUIRED.
- CEILING MOUNTED 120V MULTIPLE STATION PHOTOELECTRIC SMOKE DETECTOR/ALARM WITH AUDIBLE SIGNAL, LED ALARM AND BATTERY BACKUP, GENTEX #9003 SERIES. INTERCONNECT SMOKE DETECTORS WITHIN EACH ASSOCIATED HOUSING UNIT. ELECTRICAL CONTRACTOR SHALL PROVIDE INTERCONNECTING WIRING.
- CEILING MOUNTED 120V CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP, GENTEX #C01209 SERIES. DETECTOR SHALL BE A STAND-ALONE DEVICE.

## LIGHTING FIXTURE SCHEDULE NOTES

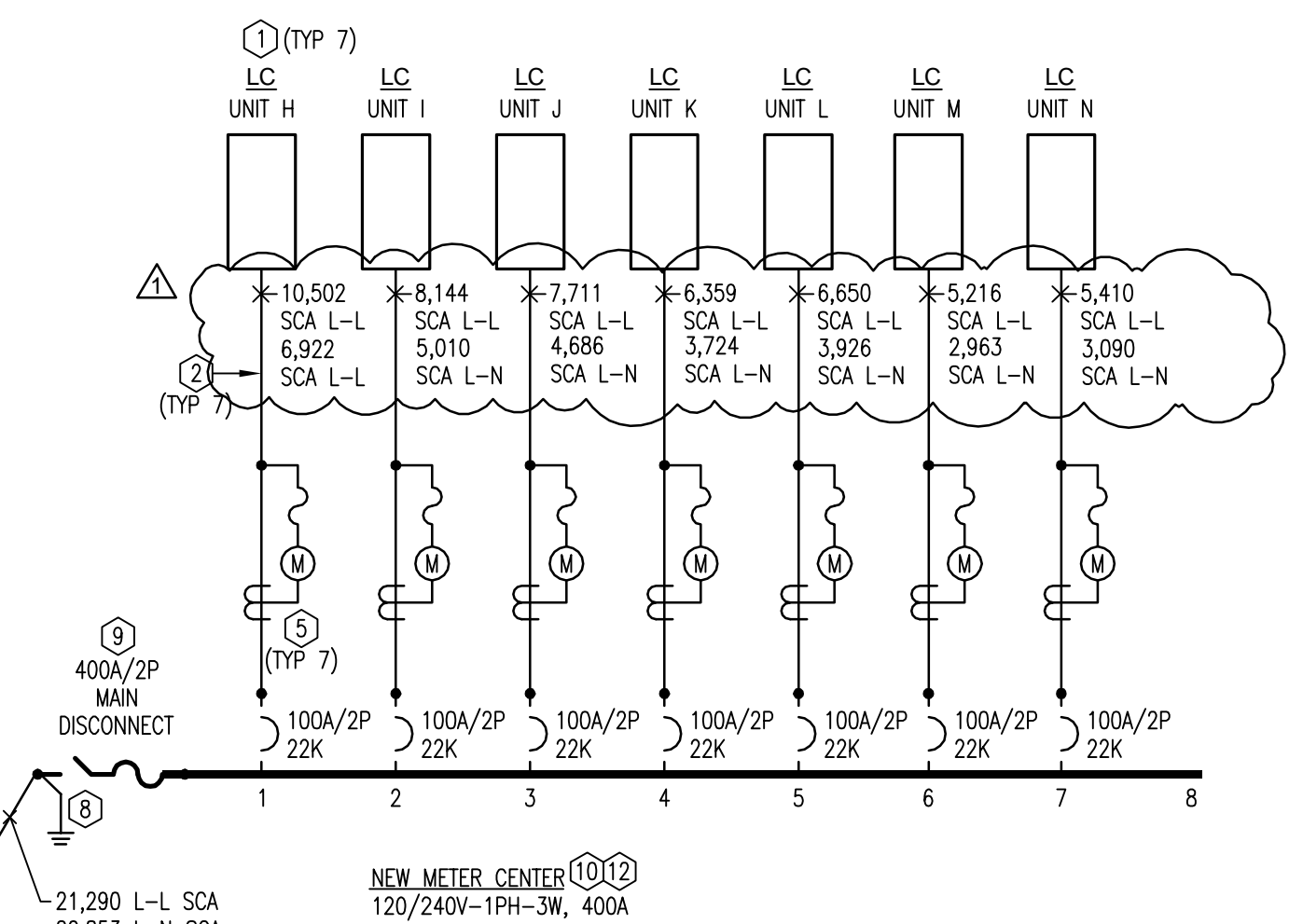
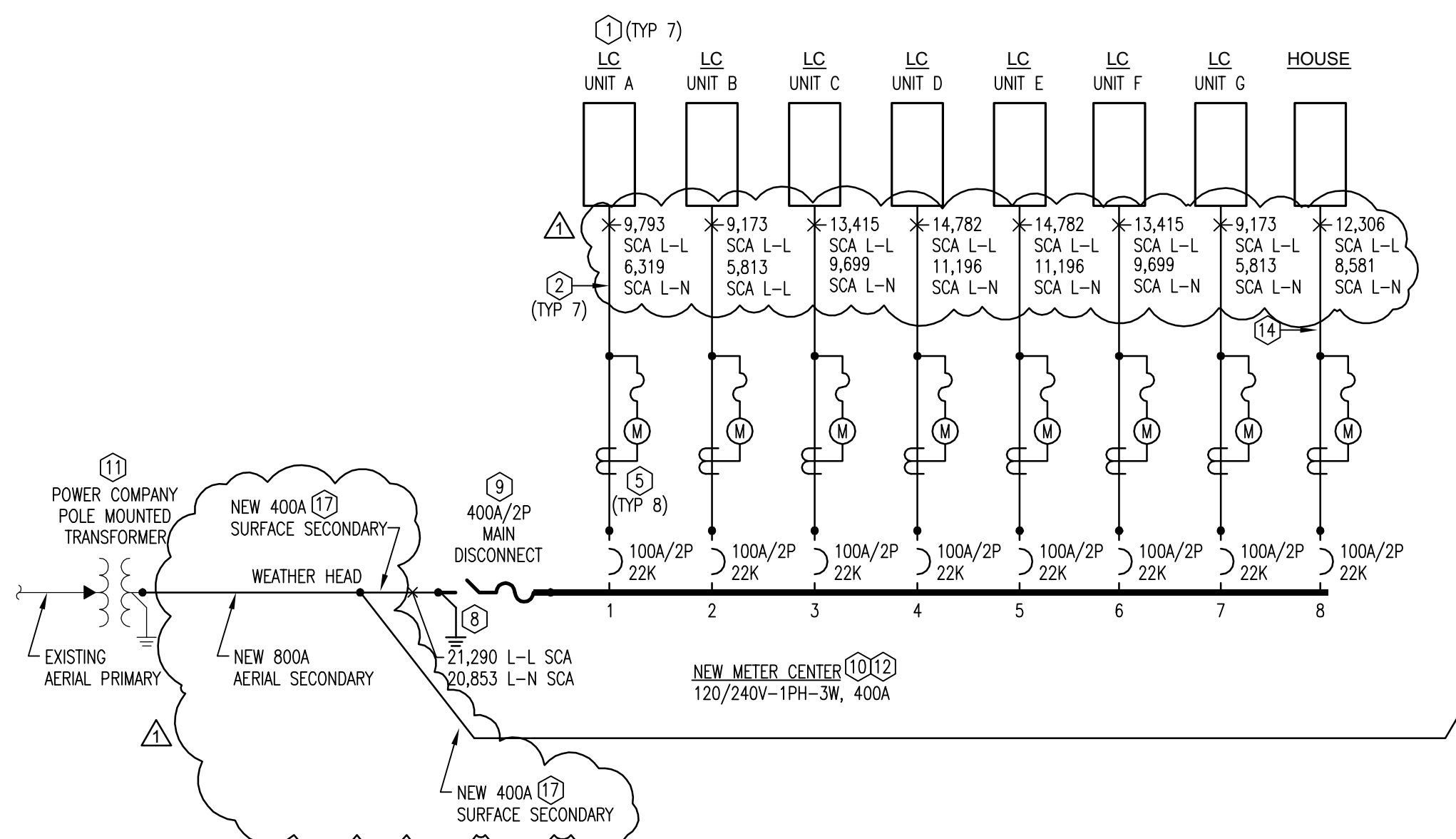
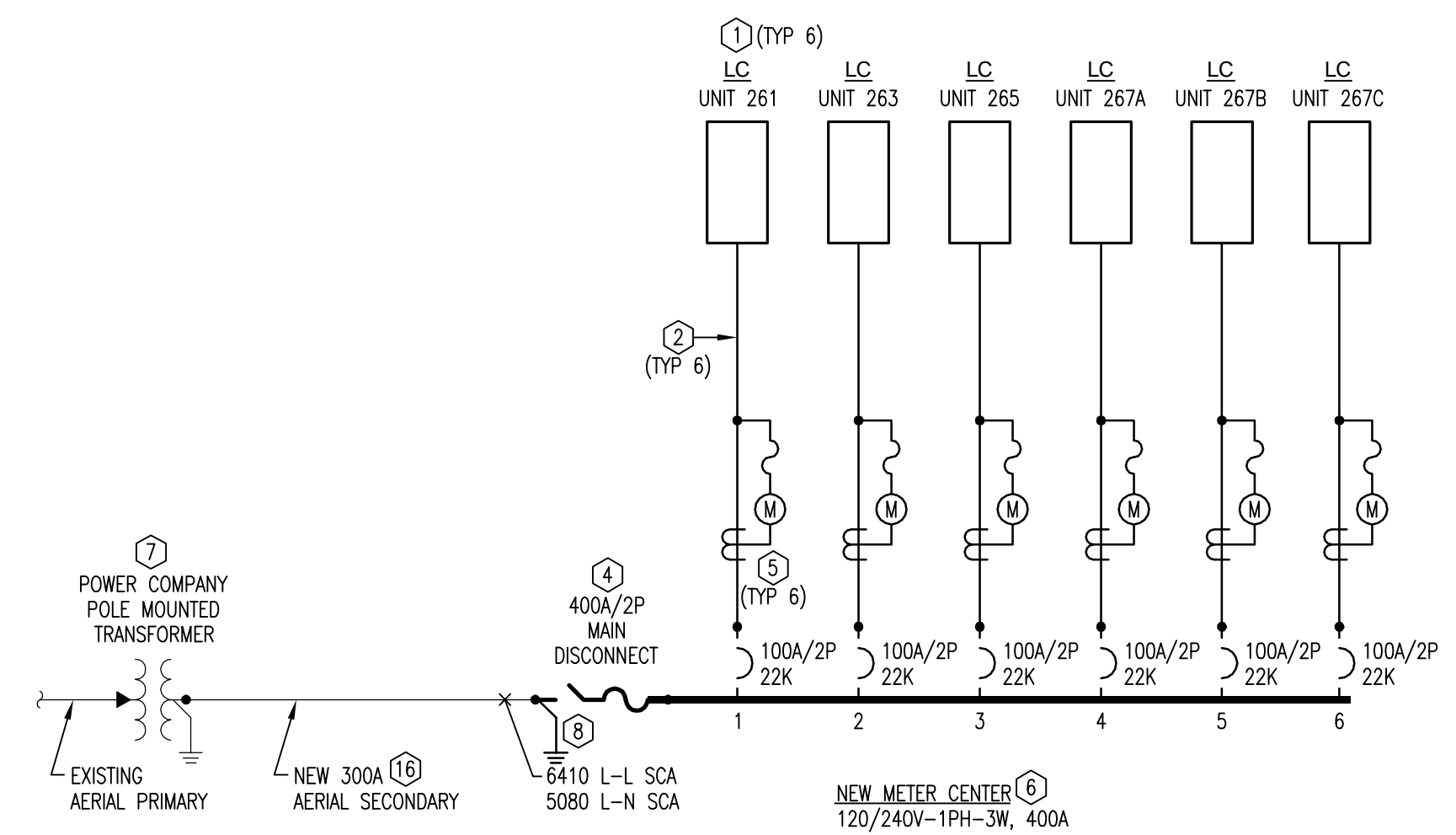
- VERIFY COMPATIBILITY OF ALL LAMPS SPECIFIED FOR FIXTURES WITH MANUFACTURER'S REPRESENTATIVE PRIOR TO ORDERING LAMPS.
- LIGHT FIXTURES MUST BE EQUAL IN QUALITY, PERFORMANCE, SIZE AND APPEARANCE TO SPECIFIED FIXTURES. IF A MANUFACTURER NAMED IN THIS COLUMN CANNOT PROVIDE AN EQUAL FIXTURE TO MEET THE SATISFACTION OF THE ENGINEER, ANOTHER LISTED MANUFACTURER'S FIXTURE TYPE MUST BE SUBMITTED. ANY LIGHT FIXTURE SUBMITTED FOR SHOP DRAWING REVIEW THAT IS NOT AN ACCEPTABLE EQUAL WILL BE AUTOMATICALLY REJECTED; NO EXCEPTIONS.
- ALL FLUORESCENT LIGHT FIXTURES WITH DOUBLE-ENDED LAMPS SHALL HAVE AN INTERNAL DISCONNECTING MEANS AS REQUIRED PER NEC 410.130(G).
- LIGHT FIXTURE SHALL BE ENERGY STAR RATED.
- OTHER MANUFACTURERS ARE ACCEPTABLE AS APPROVED BY THE ENGINEER.
- PROVIDE MEDICINE CABINET WITH INTEGRAL LIGHTING FIXTURE. DISCONNECT THE INTEGRAL ELECTRICAL OUTLET IN CABINET.
- WALL MOUNT JUST ABOVE TOP OF DOOR FRAME.
- COORDINATE EXACT POSITIONING OF REMOTE LAMP HEAD WITH ARCHITECT PRIOR TO ROUGH-IN.

LOAD CENTER LC (HOCH)											
SPEC. SECTION - 262416				SCR - 10K				LOCATION - BEDROOM			
VOLTAGE - 120/240V-1PH-3W				MAINS - 100A MLO				MOUNTING - FLUSH			
CONN. KVA - 17.7				DEMAND KVA - 12.5 (3)				DEMAND AMPS - 51.9			
LOAD	KVA	BKR.	CKT. No.	BKR.	KVA	LOAD	KVA	BKR.	CKT. No.	BKR.	LOAD
(20) RANGE	8.5	50-2	1 2	20-1	1.5	KITCHEN RECEPTACLES	1.5	50-2	1 2	20-1	1.5
			3 4		1.5	KITCHEN RECEPTACLES					
LIGHTING/RECEPT.	1.0	15-1 AFCI	5 6		2	BATHROOM RECEPT.					
LIGHTING/RECEPT.	1.0	15-1 AFCI	7 8		1.2	AC UNIT					
LIGHTING/RECEPT.	1.0	15-1 AFCI	9 10			SPARE					
FURNACE	1.0	15-1	11 12	15-1 AFCI	.6	RECEPTACLES					
SPACE			13 14	15-1		SPARE					
SMOKE DETECTORS	.2	15-1 LC	15 16	15-1 AFCI		SPARE					

LOAD CENTER LC (ROSEMONT)											
SPEC. SECTION - 262416				SCR - 10K				LOCATION - BEDROOM			
VOLTAGE - 120/240V-1PH-3W				MAINS - 100A MLO				MOUNTING - SEMI-FLUSH			
CONN. KVA - 25.6				DEMAND KVA - 16.9 (3)				DEMAND AMPS - 70			
LOAD	KVA	BKR.	CKT. No.	BKR.	KVA	LOAD	KVA	BKR.	CKT. No.	BKR.	LOAD
(20) RANGE	8.5	50-2	1 2	20-1	1.5	KITCHEN RECEPTACLES	1.5	50-2	1 2	20-1	1.5
			3 4		1.5	KITCHEN RECEPTACLES					
SPARE			5 6		.2	BATHROOM RECEPT.					
LIGHTING/RECEPT.	1.0	15-1 AFCI	7 8	15-2	3.0	AC UNIT					
LIGHTING/RECEPT.	1.0	15-1 AFCI	9 10								
FURNACE	1.0	15-1	11 12	30-2	5.0	DRYER					
RECEPTACLES	1.2	15-1 AFCI	13 14								
SMOKE DETECTORS	.2	15-1 LC	15 16	20-1	1.5	WASHER					
SPARE			17 18			SPACE					
SPARE			19 20			SPACE					

HOUSE PANEL (ROSEMONT) (15)											
SPEC. SECTION - 262416				SCR - 10K				LOCATION - EXTERIOR			
VOLTAGE - 120/240V-1PH-3W				MAINS - 100A MLO (SERVED AT 60A)				MOUNTING - FLUSH			
CONN. KVA - 2.0				DEMAND KVA - 2.0				DEMAND AMPS - 8			
LOAD	KVA	BKR.	CKT. No.	BKR.	KVA	LOAD	KVA	BKR.	CKT. No.	BKR.	LOAD
EXTERIOR LIGHTS	1.2	15-1	1 2	15-1	.4	STAIR LIGHTS					
STAIR SMOKE DETECT.	.4		3 4			SPARE					
SPACE			5 6	20-1		SPARE					

ABBREVIATIONS:  
MLO-MAIN LUGS ONLY, DSL-DOUBLE SET OF LUGS, MB-MAIN BREAKER,  
GFA-CLASS A GROUND FAULT BREAKER, GFB-CLASS B GROUND FAULT BREAKER, LC-LOCKING CLIP,  
ST-SHUNT TRIP BREAKER, RLY-RELAY CONTROLLED CIRCUIT, AFCI-ARC-FAULT CIRCUIT INTERRUPTER



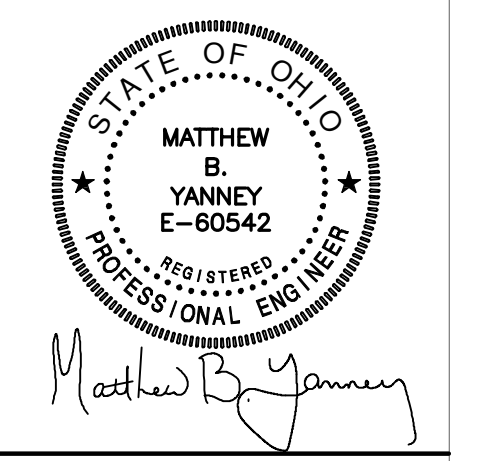
**SINGLE LINE DIAGRAM- HOCH**  
SCALE: NONE

**SINGLE LINE DIAGRAM- ROSEMONT (TYP 1432, 1438)**  
SCALE: NONE

**BSE** BUILDING SYSTEMS ENGINEERING, Ltd.  
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Project #: 11009

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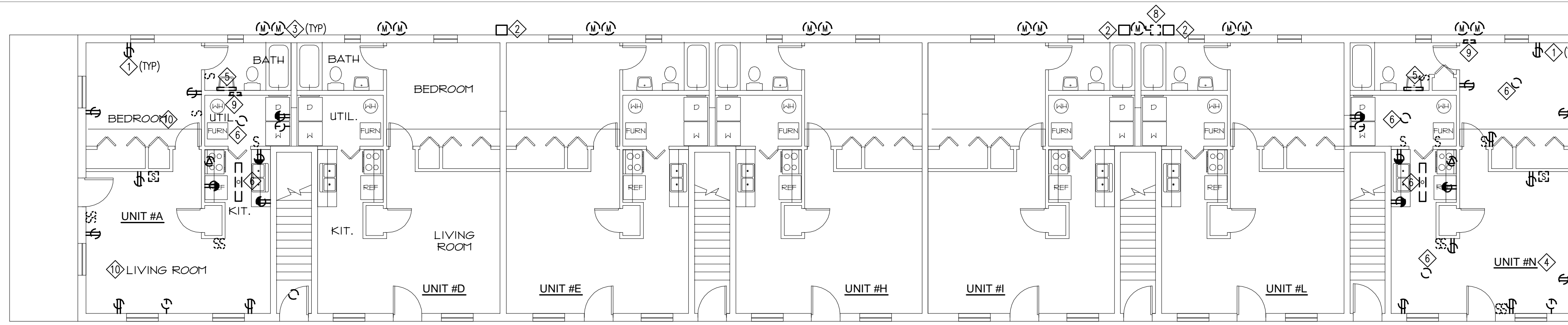
**BSE GROUP ARCHITECTS**  
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electrical service upgrades thru wall a/c unit replacement  
1432-1438 rosemont oh5-12b  
261 hoch street oh5-18d  
dayton, ohio 45410  
electrical schedules

project number  
101041  
date  
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drawn by  
mby  
checked by  
MBT

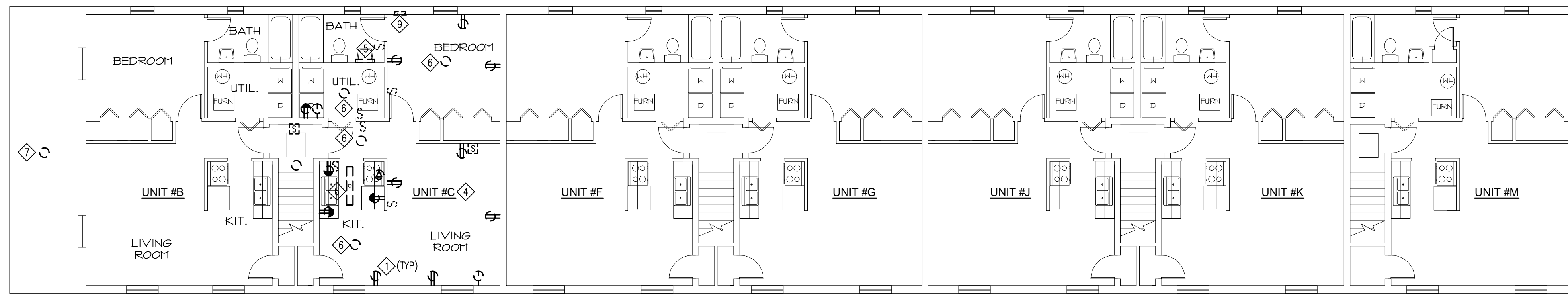
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1432 rosemont blvd.



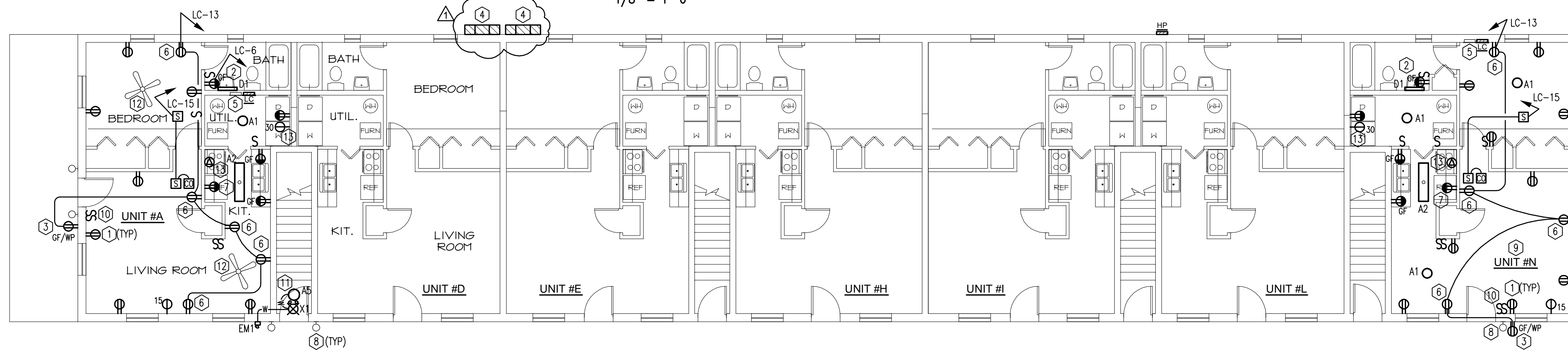
# 1 first floor - demolition plan

1/8" = 1'-0"



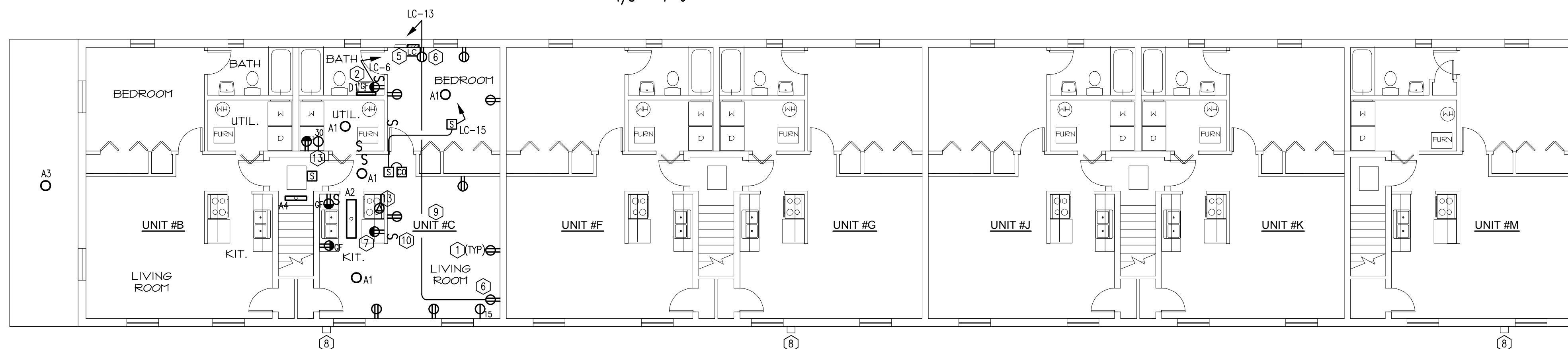
# 2 second floor - demolition plan

1/8" = 1'-0"



# 3 first floor - construction plan

1/8" = 1'-0"



# 4 second floor - construction plan

1/8" = 1'-0"

## general notes

- A. APARTMENT BUILDINGS WILL REMAIN OCCUPIED DURING RENOVATION WORK. NEW SERVICE CONDUCTORS, METER CENTERS, LOAD CENTER FEEDERS, AND LOAD CENTER INSTALLATION SHALL OCCUR BEFORE EXISTING METERS AND PANELS CAN BE REMOVED. POWER WITHIN EACH APARTMENT UNIT MUST BE RESTORED BY THE END OF THE WORKING DAY TO ENABLE TENANT TO RETURN TO SPACE IN THE EVENING. CONTRACTOR IS RESPONSIBLE FOR CONTACTING, AND COORDINATING WITH POWER COMPANY FOR ALL DETAILS OF SERVICE CHANGEOVER. CONTRACTOR SHALL COMPLETE AND SUBMIT SERVICE APPLICATION FORMS TO POWER COMPANY EARLY IN CONSTRUCTION SCHEDULE.
- B. DRYER/RANGE 4-WIRE CIRCUIT DEDUCT ALTERNATE NO. 2- REFER TO BID FORM FOR DEDUCT FOR NOT PERFORMING WORK ASSOCIATED WITH REPLACING EXISTING 3-WIRE DRYER AND RANGE CIRCUITS WITH NEW 4-WIRE CIRCUITS, INCLUDING ASSOCIATED COSTS OF WALL CUTTING, REPAIR, AND PAINTING.
- C. ADDITIONAL NEW RECEPTACLES DEDUCT ALTERNATE NO 1- REFER TO BID FORM FOR DEDUCT FOR NOT PERFORMING WORK ASSOCIATED WITH PROVIDING ADDITIONAL RECEPTACLES AT WALL SPACES THAT ARE NON-COMPLIANT WITH CURRENT DEVICE SPACING REQUIREMENTS, INCLUDING ASSOCIATED COSTS OF WALL CUTTING, REPAIR, AND PAINTING.
- D. EXTERIOR RECEPTACLES DEDUCT ALTERNATE NO 3- REFER TO BID FORM FOR DEDUCT FOR NOT PERFORMING WORK ASSOCIATED WITH PROVIDING NEW EXTERIOR RECEPTACLES, INCLUDING COSTS OF WALL CUTTING, REPAIR, AND PAINTING.
- E. CONTRACTOR SHALL CONTROL SPREAD OF CONSTRUCTION DUST AND KEEP THE WORK AREA CLEAN. CONTRACTOR IS RESPONSIBLE FOR MOVING TENANT'S FURNITURE/BELONGINGS AS NECESSARY TO CLEAR WALL SPACES TO PERFORM WORK. FURNITURE/BELONGINGS SHALL BE PROTECTED FROM DRYWALL DUST AND PAINT. WORK AREAS SHALL BE CLEANED PRIOR TO COMPLETION OF WORK DAY. POWER MUST BE RESTORED TO TENANT SPACE PRIOR TO COMPLETION OF WORK DAY.
- F. DEVICES IN WALLS SHALL BE FLUSH MOUNTED WITH CABLE CONCEALED IN WALL; CUT, PATCH, AND PAINT AS REQUIRED. ANY WALL THAT IS CUT AND REQUIRES REPAIR, SHALL BE PAINTED FULL HEIGHT AND LENGTH OF WALL SURFACE, CORNER TO CORNER, FLOOR TO CEILING.
- G. ALL CIRCUITS SERVED FROM STANDARD AND AFCI BREAKERS SHALL BE TESTED TO VERIFY THAT EXISTING WIRING DOES NOT CAUSE BREAKER TO TRIP. IF TRIPPING OCCURS, CONTRACTOR SHALL FIELD DETERMINE LOCATION OF CONDUCTOR FAULT POINT AND REPLACE CABLE SECTION AS NEEDED. EACH RECEPTACLE ON CIRCUIT SHALL BE LOAD TESTED TO CONFIRM ABSENCE OF ARC FAULT CONDITION.
- H. EXTERIOR BRICK SHALL BE PATCHED AT ANY EXISTING HOLES DUE TO REMOVALS. ALL NEW PENETRATIONS MADE THROUGH BRICK AND OTHER EXTERIOR SURFACES SHALL BE CAULKED OR GROUTED AROUND CABLE/CONDUIT ENTRANCE POINTS.
- I. ALL CIRCUITS REQUIRE DEDICATED NEUTRALS.
- J. ALL POWER DISRUPTIONS SHALL BE COORDINATED WITH THE OWNER WELL IN ADVANCE OF WORK. DISRUPTIONS SHALL BE PLANNED SUCH THAT THEY ARE AS SHORT A DURATION AS POSSIBLE.
- K. ALL COVERPLATES SHALL BE REPLACED WITH NEW, INCLUDING RECEPTACLES, AND TOGGLE SWITCHES.
- L. NEW LOADCENTERS INSTALLED AT ROSEMONT UNITS WILL REQUIRE TRIMMING. INTERIOR WALL DEPTH IS APPROXIMATELY 1" AGAINST CMU AND BRICK EXTERIOR. LOADCENTER TUB 4" DEPTH WILL RECESS INTO WALL 1", WITH 3" PROTRUDING. PROVIDE WOOD TRIM AS COORDINATED WITH ARCHITECT, AND PAINT TO MATCH WALL COLOR. PROVIDE SURFACE METAL WIREWAY EXTENDED FROM LOADCENTER TO OLD LOADCENTER TUB FOR ROUTING WIRE BETWEEN PANELS. PROVIDE COVER OVER OLD LOADCENTER TUB SCREWED IN PLACE, AND PAINTED TO MATCH WALL. CONTRACTOR SHALL COORDINATE WITH DMHA AND ARCHITECT/ENGINEER FOR EXACT DETAILS OF INSTALLATION AND SHALL PERFORM WORK IN ONE UNIT FOR APPROVAL BEFORE CONTINUING TO OTHER UNITS. CONDITIONS BETWEEN UNITS MAY VARY.
- M. CONTRACTOR TO FIELD VERIFY ALL RECEPTACLE CIRCUITS HAVE EXISTING GROUND CONDUCTORS. FOR ANY EXISTING 2-WIRE RECEPTACLE CIRCUITS, PER NEC 406.3(D)(3)(B&C), PROVIDE FEED THRU GFI TAMPERPROOF RECEPTACLE FOR FIRST RECEPTACLE ON EXISTING 2-WIRE CIRCUIT, AND PROVIDE LABELS AT ALL RECEPTACLES ON CIRCUIT INDICATING "GFCI PROTECTED, NO EQUIPMENT GROUND."

## demolition notes

1. ALL RECEPTACLES AND TOGGLE SWITCHES SHALL BE REMOVED AND REPLACED WITH NEW DEVICES, TYPICAL. MAINTAIN EXISTING CIRCUITRY.
2. REMOVE POWER COMPANY SPICE BOX AND ALL SURFACE MOUNTED SERVICE CONDUCTORS.
3. REMOVE POWER COMPANY METER AND ASSOCIATED SERVICE CONDUCTOR AND FEEDER TO ASSOCIATED REMOVED LOAD CENTER.
4. TYPICAL REMOVAL PLAN FOR SIMILAR UNITS.
5. REMOVE SURFACE MOUNTED MEDICINE CABINET WITH INTEGRAL LIGHT AND RECEPTACLE, AND REPLACE WITH NEW CABINET/LIGHT.
6. REPLACE SURFACE MOUNTED LIGHTING FIXTURE WITH NEW FIXTURE.
7. REPLACE CHAIN HUNG LIGHTING FIXTURE WITH NEW FIXTURE.
8. REMOVE DISCONNECT SWITCH AND EXTEND EXISTING/NEW CIRCUITS TO NEW HOUSE PANEL HP.
9. EXISTING FUSIBLE LOADCENTER. REFER TO CONSTRUCTION NOTE 5.
10. REFER TO CONSTRUCTION NOTE 12.

## construction notes

1. REPLACE ALL EXISTING RECEPTACLES AND TOGGLE SWITCHES WITH NEW DEVICES. REPLACE ALL COVERPLATES.
2. PROVIDE GFI TAMPER RESISTANT RECEPTACLE AND DEDICATED CIRCUIT. INSTALL CIRCUITRY IN ATTIC SPACE FROM PANEL TO DEVICE. DROP IN WALL CAVITY TO DEVICE LOCATION. WALL SURFACE SHALL NOT BE DAMAGED SUCH THAT PAINTING WOULD NOT BE NECESSARY. (FIRST FLOOR LEVEL, WALL CUTTING WILL BE NECESSARY, NO ATTIC AVAILABLE).
3. PROVIDE EXTERIOR RECEPTACLE PER NEC 210.52(E).
4. PROVIDE NEW METER CENTERS WITH 400A MAIN DISCONNECTS, EACH WITH EIGHT METER SOCKETS WITH 100A BREAKERS. PROVIDE WEATHERHEAD/SUPPORT FOR SERVICE CONDUCTORS AND TAP CONDUCTORS TO SERVE MAIN 400A DISCONNECTS. PROVIDE 100A FEEDERS TO LOAD CENTERS. PROVIDE SURFACE CONDUIT ON BUILDING EXTERIOR TO ROUTE SERVICE CONDUCTORS FROM ARIAL DROP. DOWN TO METER CENTERS. PROVIDE VERTICAL WIREWAY(S) FROM METER CENTER FOR LOADCENTER FEEDER ROUTING, AND PROVIDE HORIZONTAL WIREWAY OR FLANGE GUARD SIMILAR TO WIRE TRAK - ALPHA TRAK WIRE MANAGEMENT SYSTEM SUCH THAT ALL SURFACE MOUNTED SER CABLE IS CONCEALED. REWORK EXISTING DOWNSPOUTS AS NECESSARY TO ALLOW CROSSING OF WIREWAY OR FLANGE GUARD. COORDINATE INSTALLATION METHODS WITH DMHA, ARCHITECT/ENGINEER PRIOR TO WORK FOR NEAT, ORDERLY APPEARANCE. WIREWAY AND FLANGE GUARD COLOR SHALL BE SELECTED TO BLEND WITH BRICK SURFACE.
5. EXISTING FUSIBLE PANEL TUB SHALL BECOME SPICE BOX FOR EXTENSION OF EXISTING CIRCUITS TO NEW LOAD CENTER. PROVIDE NEW COVER FOR SPICE BOX, AND ATTACH WITH SCREWS AT EACH CORNER. PAINT SPICE BOX COVER TO MATCH WALL PAINT COLOR.
6. PROVIDE RECEPTACLE TO MEET SPACING REQUIREMENTS OF THE NEC.
7. SITE DETERMINE IF EXISTING CIRCUIT SERVING REFRIGERATOR RECEPTACLE IS 15 OR 20A AND PROVIDE APPROPRIATELY RATED RECEPTACLE.
8. MAINTAIN EXISTING EXTERIOR LIGHTING FIXTURE AND PROVIDE CIRCUIT SERVED FROM HOUSE PANEL.
9. TYPICAL LAYOUT FOR ALL SIMILAR UNITS.
10. SITE DETERMINE WHICH RECEPTACLE IN ROOM IS SPLIT RECEPTACLE CONTROLLED FROM WALL SWITCH, AND PROVIDE THE SAME.
11. SERVE COMBINATION EXIT SIGN/EMERGENCY LIGHTING UNIT FROM EXTENSION OF ENTRY LIGHTING CIRCUIT AHEAD OF LOCAL SWITCHING.
12. SOME UNITS HAVE EXISTING CEILING FAN/LIGHT INSTALLED IN LIEU OF JUST CEILING LIGHT FIXTURE. CEILING FANS SHALL REMAIN. UNIT LOCATIONS VARY. FIELD DETERMINE. FOR BASE BID, ASSUME ALL UNITS REQUIRE NEW A1 LIGHTING FIXTURES AND THAT CEILING FANS DO NOT EXIST. BID FORM UNIT PRICE IS REQUIRED FOR COST TO REPLACE CEILING FAN WITH A1 FIXTURE.
13. UNDER BASE BID, REPLACE 3-WIRE DEVICE WITH 4-WIRE DEVICE PER LEGEND NOTE 19, SHEET E1. REPLACE CORD ON RANGE/DRYER WITH 4 WIRE CORD. REPLACE BRANCH CIRCUIT WITH 4 WIRE CIRCUIT. UNDER ALTERNATE NO. 2, REPLACE 3-WIRE DEVICE WITH 3-WIRE DEVICE, MAINTAIN BRANCH CIRCUIT AND EXISTING CORD.

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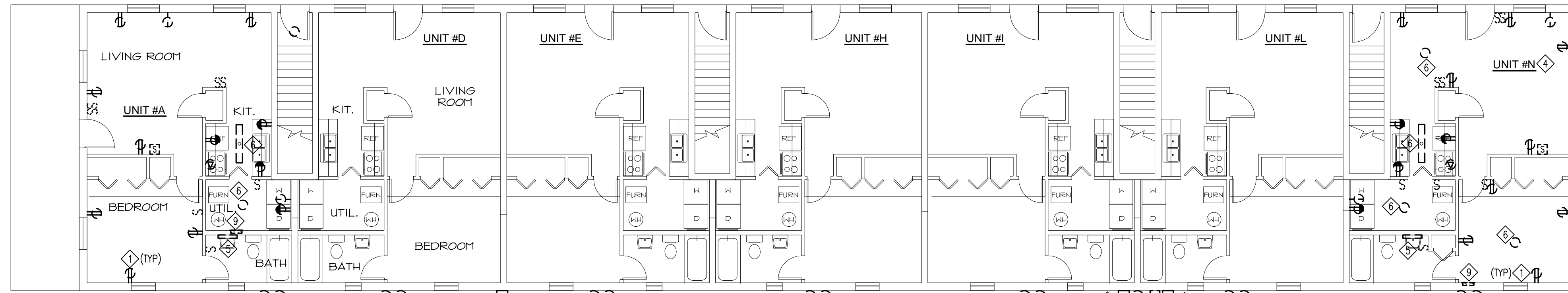
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checked by	mbt

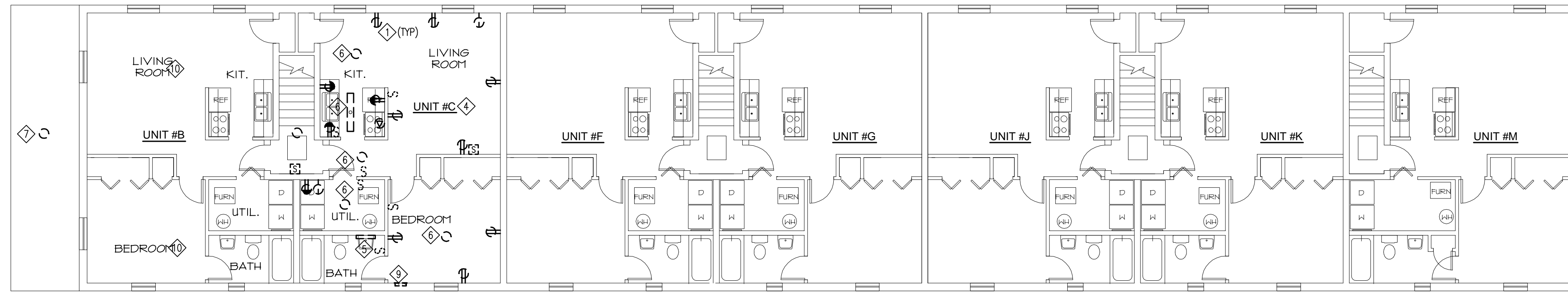
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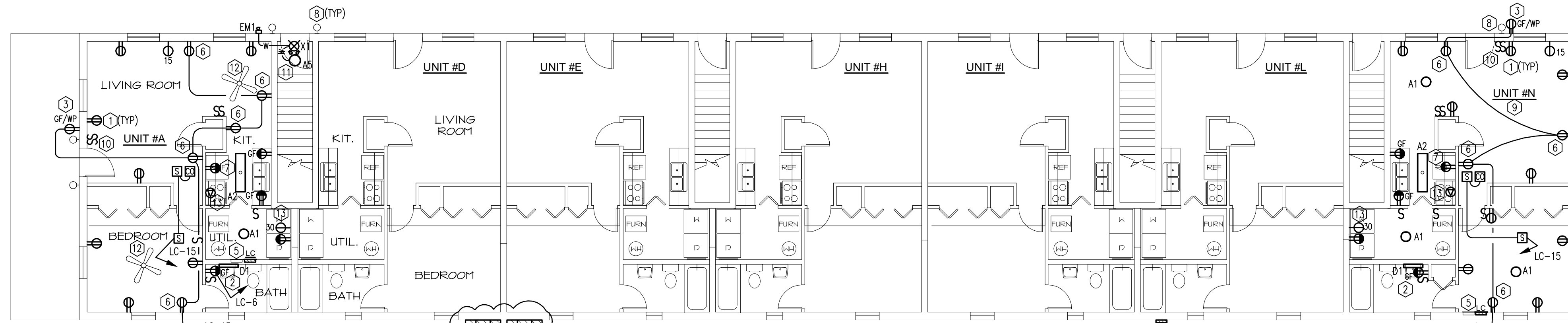
# 1 first floor - demolition plan

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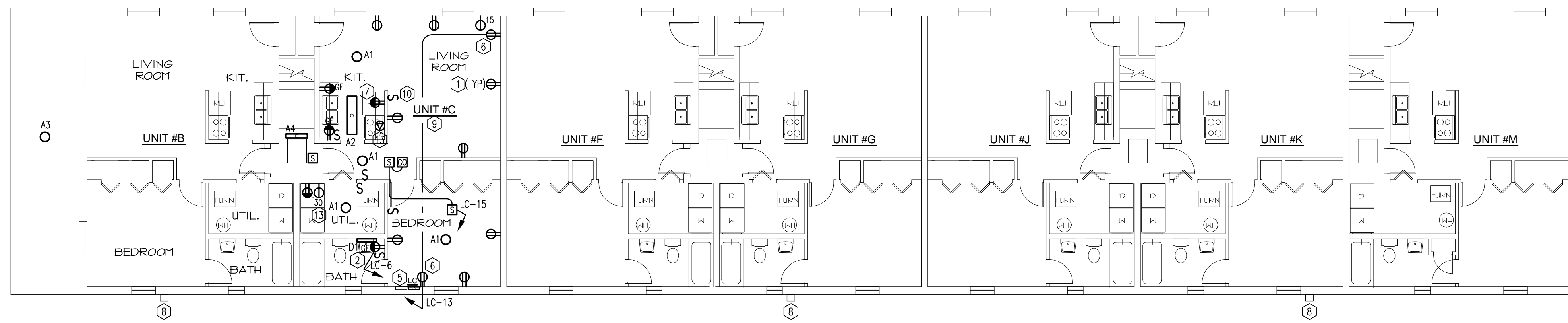
# 2 second floor - demolition plan

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# 3 first floor - construction plan

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## general notes

- A. APARTMENT BUILDINGS WILL REMAIN OCCUPIED DURING RENOVATION WORK. NEW SERVICE CONDUCTORS, METER CENTERS, LOAD CENTER FEEDERS, AND LOAD CENTER INSTALLATION SHALL OCCUR BEFORE EXISTING METERS AND PANELS CAN BE REMOVED. POWER WITHIN EACH APARTMENT UNIT MUST BE RESTORED BY THE END OF THE WORKING DAY TO ENABLE TENANT TO RETURN TO SPACE IN THE EVENING. CONTRACTOR IS RESPONSIBLE FOR CONTACTING, AND COORDINATING WITH POWER COMPANY FOR ALL DETAILS OF SERVICE CHANGE/ORDER. CONTRACTOR SHALL COMPLETE AND SUBMIT SERVICE APPLICATION FORMS TO POWER COMPANY EARLY IN CONSTRUCTION SCHEDULE.
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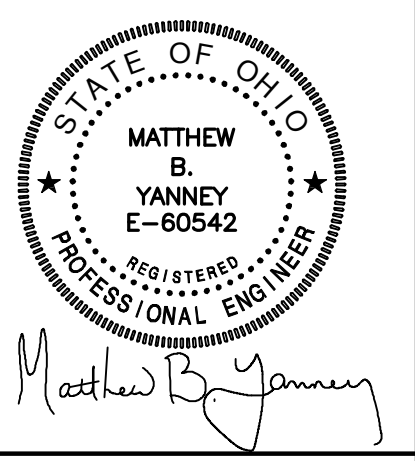
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3. REMOVE POWER COMPANY METER AND ASSOCIATED SERVICE CONDUCTOR AND FEEDER TO ASSOCIATED REMOVED LOAD CENTER.
4. TYPICAL REMOVAL PLAN FOR SIMILAR UNITS.
5. REMOVE SURFACE MOUNTED MEDICINE CABINET WITH INTEGRAL LIGHT AND RECEPTACLE, AND REPLACE WITH NEW CABINET/LIGHT.
6. REPLACE SURFACE MOUNTED LIGHTING FIXTURE WITH NEW FIXTURE.
7. REPLACE CHAIN HUNG LIGHTING FIXTURE WITH NEW FIXTURE.
8. REMOVE DISCONNECT SWITCH AND EXTEND EXISTING/NEW CIRCUITS TO NEW HOUSE PANEL HE.
9. EXISTING FUSIBLE LOADCENTER. REFER TO CONSTRUCTION NOTE 5.
10. REFER TO CONSTRUCTION NOTE 12.

## construction notes

1. REPLACE ALL EXISTING RECEPTACLES AND TOGGLE SWITCHES WITH NEW DEVICES. REPLACE ALL COVERPLATES.
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3. PROVIDE EXTERIOR RECEPTACLE PER NEC 210.52(A).
4. PROVIDE NEW METER CENTERS WITH 400A MAIN DISCONNECTS, EACH WITH EIGHT METER SOCKETS WITH 100A BREAKERS. PROVIDE WEATHERHEAD/SUPPORT FOR SERVICE CONDUCTORS AND TAP CONDUCTORS TO SERVE MAIN 400A DISCONNECTS. PROVIDE 100A FEEDERS TO LOAD CENTERS. PROVIDE SURFACE CONDUIT ON BUILDING EXTERIOR TO ROUTE SERVICE CONDUCTORS FROM ARIAL DROP. DOWN TO METER CENTERS. PROVIDE VERTICAL WIREWAY(S) FROM METER CENTER FOR LOADCENTER FEEDER ROUTING, AND PROVIDE HORIZONTAL WIREWAY OR FLANGE GUARD SIMILAR TO WIRE TRAK- ALPHA TRAK WIRE MANAGEMENT SYSTEM SUCH THAT ALL SURFACE MOUNTED SEE CABLE IS CONCEALED. REWORK EXISTING DOWNSPOUTS AS NECESSARY TO ALLOW CROSSING OF WIREWAY OR FLANGE GUARD. COORDINATE INSTALLATION METHODS WITH DMHA. ARCHITECT/ENGINEER PRIOR TO WORK FOR NEAT, ORDERLY APPEARANCE. WIREWAY AND FLANGE GUARD COLOR SHALL BE SELECTED TO BLEND WITH BRICK SURFACE.
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6. PROVIDE RECEPTACLE TO MEET SPACING REQUIREMENTS OF THE NEC.
7. SITE DETERMINE IF EXISTING CIRCUIT SERVING REFRIGERATOR RECEPTACLE IS 15 OR 20A AND PROVIDE APPROPRIATELY RATED RECEPTACLE.
8. MAINTAIN EXISTING EXTERIOR LIGHTING FIXTURE AND PROVIDE CIRCUIT TO HOUSE PANEL.
9. TYPICAL LAYOUT FOR ALL SIMILAR UNITS.
10. DETERMINE WHICH RECEPTACLE IN ROOM IS SPLIT RECEPTACLE CONTROLLED FROM WALL SWITCH, AND PROVIDE THE SAME.
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13. UNDER BASE BID, REPLACE 3-WIRE DEVICE WITH 4-WIRE DEVICE PER LEGEND NOTE 19, SHEET E1. REPLACE CORD ON RANGE/DRYER WITH 4 WIRE CORD. REPLACE BRANCH CIRCUIT WITH 4 WIRE CIRCUIT. UNDER ALTERNATE NO. 2, REPLACE 3-WIRE DEVICE WITH 3-WIRE DEVICE, MAINTAIN BRANCH CIRCUIT AND EXISTING CORD.

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